



1054 W. Chestnut St
Middletown, NJ 07748

Report prepared for:

Ryan Koller
27 Romaine Ave
Jersey City, NJ 07306

Report prepared by:

Jason P. Mitchell
New Jersey Home Inspector Lic. Nbr: #24GI00056400
Front Porch Solutions, LLC dba HomeSpect
10 Green St, Unit 4-107
Woodbridge, NJ 07095
Certified ASHI (American Society of Home Inspectors) Inspector Nbr: 243328



HomeSpect
10 Green Street, Unit 4-107
Woodbridge NJ 07095
732-636-1188
Homespectfps@gmail.com

Page 2

Inspection reference: 112523JM2

Confidential Inspection Report

1054 W Chestnut St
Middletown NJ 07748

January 10, 2026

Prepared for:
Ryan Koller
27 Romaine Ave
Jersey City NJ 07306

This report is the exclusive property of the inspection company and the client whose name appears herewith and its use by any unauthorized persons is prohibited.

Inspection: 112523JM2 Address: 1054 W Chestnut St

Inspection Contents

GENERAL INFORMATION	12
GROUNDS	13
EXTERIOR	18
ROOFING	27
KITCHEN AND APPLIANCES	32
BATHROOMS	34
INTERIOR	39
ATTIC	45
BASEMENT/STRUCTURE	47
ELECTRICAL	51
PLUMBING	54
HEATING AND COOLING	57

Inspection: 112523JM2 Address: 1054 W Chestnut St

HomeSpect

Front Porch Solutions, LLC
10 Green St, Unit 4-107
Woodbridge, NJ 07095
(732) 636-1188

January 10, 2026

Ryan Koller
27 Romaine Ave
Jersey City, NJ 07306

1054 W Chestnut St
Middletown, NJ 07748

A visual inspection of the above referenced property was conducted on 01/10/2026. This inspection report reflects the visual conditions of the property at the time of the inspection only. Hidden or concealed defects cannot be included in this report. No warranty is either expressed or implied. This report is not an insurance policy, nor a warranty service. See the pre-inspection agreement which defines the scope of the inspection. Digital photos, of various deficiencies, have been included in the report where possible.

An earnest effort was made to discover all visible defects. The following is an opinion report expressed as a result of the inspection.

REPORT SUMMARY

This is a 233+ years old home that has received minimal renovations/upgrades over the years. As such, **A SIGNIFICANT NUMBER OF DEFICIENCIES WERE LOCATED DURING THIS INSPECTION. We feel the following items should be addressed prior to closing.**

WALKWAYS: Uneven and unlevel brick pavers present a potential trip hazard. Have a qualified paving contractor level the pavers or replace the walkway to improve safety. The concrete stepped walkway, that leads down to the bridge and stream, is cracked and poorly supported. This presents the potential for injury. This stepped walkway requires replacement at this time. Consult a qualified mason contractor to replace this walkway to improve safety.

OUT BUILDINGS: Deterioration to multiple bricks that comprise the small brick shed at the right rear corner of the lot (just above the stream). This small building has been constructed near the upper stream bank and likely has NOT been constructed on a footing. Have a qualified contractor make all necessary repairs to prevent further deterioration to the masonry. Monitor for erosion of the soil, between this structure and the stream, and have a qualified mason contractor install a retaining wall as needed. The wood framed shed, located at the left front area of the lot, was locked and could not be entered for inspection. The key should be obtained and the interior of this shed evaluated PRIOR to closing.

BRIDGE OVER STREAM: Deflection and vibration can be felt to the bridge deck that extends over the stream located behind the home. The joists, that support the decking, are undersized for their span. Have a qualified contractor reinforce the bridge span to improve safety.

GROUNDS (OTHER): This home is located on a multi-acre lot. Woods are located behind the stream. A few downed trees were observed in the woods. The scope of this inspection is limited to the house and the grounds directly adjacent to

Inspection: 112523JM2 Address: 1054 W Chestnut St

the house only. A stream runs across the lot behind the house. The inspector makes NO determination as to the potential for the stream to overflow its banks during periods of heavy and/or extended rainfall. Obtain history of any possible prior flooding, due to this stream, from the owner PRIOR to closing.

STRUCTURAL MODIFICATIONS AND POTENTIAL FOR LEAD PAINT: The original home was constructed 233+ years ago. Houses built prior to 1978 have the potential of containing lead paint. The actual content of the paint on this structure can NOT be evaluated without special lead paint testing. This should be done by a licensed lead paint specialist PRIOR to closing. Concerns regarding lead paint should be addressed with the local health department or the Consumer Product Safety Commission. A single story addition has been constructed on the left side of the home. This addition was likely constructed 50+ years ago. A home inspection is NOT a municipal building code inspection. It should be determined if all necessary permits and permit approvals were obtained for all work performed PRIOR to closing.

EXTERIOR SIDING: Loose clapboard siding was observed in multiple areas around the perimeter of the home. The siding is likely original to the home. Chipped and peeling paint noted on various areas of the siding. Due to the age of this home (233+ years old), there is the strong potential for lead paint to exist. Cracks noted in various clapboards. The siding has been installed over the studs without sheathing (in most areas). Although consistent with the age of this home, the lack of sheathing can result in moisture intrusion and drafts into the wall cavities. Brownish staining, under some of the clapboards on the rear of the home, can be indicative of moisture and wood destroying insect damage to the framing within the wall cavity. Have a qualified structural contractor remove the siding in these areas and evaluate the framing for possible damage PRIOR to closing. Any damaged framing should be replaced as and where needed.

EXTERIOR DOORS: Interior keyed deadbolts are installed on the entrance doors. This presents a SAFETY CONCERN as interior keyed deadbolts can prevent emergency egress in the event of a fire. All interior keyed deadbolts should be replaced with exterior keyed locksets to improve safety. The keys, to some of the exterior doors, were NOT available. All keys should be obtained and operation of all doors tested PRIOR to closing.

WINDOWS: Extensive rot and settlement noted to the large rear wood framed window as well as the sill under this window. Cracks noted to the plaster on the interior of this wall (under this fixed sash window). There is the strong potential for framing damage to exist in this wall cavity. Have a qualified contractor remove the siding from around this window and evaluate the framing for suspected damage PRIOR to closing. All damaged framing should be replaced as and where needed. Rot noted to the majority of the windows. Cracked glass panes noted in many of the windows. The majority of the windows are original to the home (over 200 years old) and require replacement at this time. Most of the windows are painted shut and can NOT be opened. Inoperable windows can prevent emergency egress in the event of a fire in the home. Peeling and chipped paint, on the various windows and sills, can contain lead - due to the age of the home. This presents a health safety concern. All of the windows should be replaced to provide proper operation and improve safety. Consult qualified contractors for estimates for replacement of all windows PRIOR to closing. Due to the age of the home, the framed window openings are no longer square. This will likely increase the cost of window replacement.

PORCHES AND STEPS TO BUILDING: Rot noted to the base of the support posts on the front wood framed porch. Have a qualified contractor replace these posts to properly support the roof above this porch. The concrete stoop, that provides access to the front entrance door to the left side addition, has settled back toward the building. This can result in standing water accumulation on the landing. Have repaired by a qualified mason contractor.

BASEMENT/CRAWLSPACE WINDOWS: The windows are in contact with the grade of the soil. This is conducive to rot and wood destroying insect damage. Have a qualified landscape contractor install window wells and well covers to prevent further wood to soil contact.

EXTERIOR ELECTRICAL RECEPTACLES & LIGHTS: The ground fault protected receptacle, at the right rear corner of the home, did not trip when tested. This increases the risk for electrical shock. Have a licensed electrician repair

Inspection: 112523JM2 Address: 1054 W Chestnut St

or replace this receptacle to improve safety. Underground feeder type non-metallic cable has been run along the exterior walls of the home. This wiring was designed for burial and should NOT be exposed to the elements. Have a licensed electrician install conduit to protect this wiring.

BASEMENT WALKOUT: The masonry block walkout foundation has been poorly constructed. Movement noted to the masonry block walls. The masonry blocks, that comprise the steps, have been installed in the wrong orientation (the blocks have been laid on their side). The posts, that support the door framing, rest in the soil. This walkout has been constructed in a very unprofessional manner. Have a qualified mason contractor replace the walkout foundation and steps to improve safety.

REAR SUN-PORCH: Extensive rot noted to the framing around the base of the rear enclosed porch/patio (rot was observed to the majority of the framing around the perimeter of this room). Rot also noted to the soffits under the roof overhangs. Have a qualified contractor replace all rotted framing and soffit trim/cladding.

SLATE ROOFING: Damaged slates were observed in multiple areas of the upper roof surfaces as well as the lower right roof surfaces. Multiple stains and water damage were observed in the loft above the kitchen. Stains were also observed in the second story bedrooms. Extensive tar patching noted on the slates around both chimneys. Tar should NOT be considered a proper and permanent repair. Intermittent active leaks are probable during certain weather conditions (such as wind driven rain, heavy rain and snow accumulation). Have a qualified slate roof contractor replace all damaged slates and make all necessary repairs around both chimneys - to prevent recurring leaks in these areas.

ADDITIONAL ROOFING: Extensive staining runs down the siding on the wood siding on the rear wall of the sunroom. Tar patching was noted to the roofing above this area. This should NOT be considered a proper and permanent repair. Rolled asphalt roofing is considered a low quality roofing product with a limited lifespan. Complete replacement of this roofing is advised to prevent suspected recurring leaks. The roofing, on the flat roof deck above the right front two story window bay, was NOT visible for inspection. However, staining and repainting was noted to the ceiling in the bathroom (where the flat roof meets the front wall of the home). Although currently dry, recurring leaks are suspected in this area. Have the roofing, above the bay, evaluated by a qualified roofing contractor and this roofing replaced and/or other repairs completed as needed.

CHIMNEYS AND FLASHINGS: Use of tar noted on the slate around the base of both chimneys. Both chimney flashing have been patched with roofing tar. This should NOT be considered a proper and permanent repair. Leaks will likely redevelop once the tar dries out over time. Have a qualified slate roofing contractor replace both chimney flashings to prevent a recurring leakage. Deterioration noted to the masonry at the top of each of the chimneys. This can be conducive to loosening of the masonry components and increased potential for moisture leakage into the chimney structures. Have a qualified chimney contractor make all necessary repairs to both chimneys to reduce the potential for further deterioration. Evidence of metal liner was observed at the top of the left chimney. Exterior evaluation only. The interior of the chimney is NOT inspected. See the Heating section of the report for further information.

GUTTERS AND DOWNSPOUTS: Warped gutters and downspouts noted in various areas. This can result in overflow of roof surface runoff and water accumulation along the foundation. Have a qualified contractor replace all damaged gutters and downspouts to direct roof surface runoff away from the house. Leaf accumulation noted in the visible portions of the gutters. The gutters should be cleaned to promote proper drainage of roof surface runoff away from the house.

STOVE/OVEN: Although operational, an anti-tip bracket has NOT been installed on the rear of the oven. Have a qualified appliance technician install an anti-tip bracket to prevent the oven from tipping forward should the oven door be loaded while open.

COUNTER ELECTRICAL RECEPTACLES: A two prong receptacle is installed above the right side countertop. Two prong receptacles are inadequate for modern electrical needs. Have a licensed electrician install a ground fault protected receptacle to improve safety and reduce the potential for electrical shock.

Inspection: 112523JM2 Address: 1054 W Chestnut St

LAUNDRY ROOM/BATHROOM: A toilet is located in the rear laundry room. There is NO source of heat in this laundry room. As such, there is the strong potential for the plumbing to the toilet, sink and washer to freeze during cold winter weather conditions. Have a licensed HVAC contractor install a source of heating in this room PRIOR to closing. The sink faucet drips when in the off position. Corrosion noted to the drain piping under the sink. The sink legs are NOT secured to the floor. Have a licensed plumber make all necessary repairs. Carpet squares have been installed over old floor tiles which may contain asbestos. The floor tiles should NOT be disturbed or removed without first having them tested for possible asbestos content. The inspector does NOT perform asbestos testing. Consult a qualified environmental contractor for further evaluation PRIOR to closing.

FIRST FLOOR BATHROOM (ADDITION): The cold water faucet handle, on the sink, is seized. Have a licensed plumber repair or replace the sink faucet to restore operation. The anchor bolts, that secure the toilet to the flange, are corroded. Have a licensed plumber replace the wax seal, flange and anchor bolts to reduce the potential for leaks to develop. The exhaust fan and light fixture did NOT respond to the wall switch. All circuit breakers were in the ON position. Have further evaluated by a licensed electrician and all necessary repairs completed to restore operation.

SECOND STORY BATHROOM: Staining and repainting noted on the ceiling below this bathroom. The stained areas contained an elevated level of moisture after running water at the plumbing fixtures in this bathroom. The thin simulated tile wall panels are loose (located above the tub). The floor boards, adjacent to the tub, are loose. The floor is pitched toward the tub. There is the potential for rot and mold growth to exist within the floor cavity that is NOT visible for inspection. Have a qualified contractor open up the first story ceiling and/or the bathroom floor to determine extent of damage that may be present. The cast iron tub and sink are very old. Complete renovation of this bathroom should be planned. Note: Although some newer piping has been installed behind the tub/shower faucet, old galvanized steel supply lines are present. All remaining galvanized steel supply piping should be replaced when this bathroom is renovated.

INTERIOR FLOORS: Although some level of settlement/deflection to the floors should be expected due to the age of this home, excessive deflection was noted in multiple areas on the first and second floors. The floor, in the left two bedrooms, have settled over an inch and half. A similar amount of deflection was noted to the first story ceiling below these bedrooms. Deflection and settlement noted to the floors in multiple other areas of the home. Powder post beetle damage noted to multiple joists within the basement. Have the structure of this home further evaluated by a licensed structural engineer to determine best means of reinforcement and repairs PRIOR to closing. All necessary repairs and reinforcement should be completed by a qualified structural contractor as per the engineer's findings/recommendations to prevent further movement.

INTERIOR WALLS: Termite damage noted to the wall within the closet (to the left of the left fireplace). Cracks extend upward into the wall in the front left bedroom above this area. There is the strong potential for termite damage to exist to the framing within this wall cavity. Have a qualified structural contractor open up the walls to determine extent of suspected damage present PRIOR to closing. Any damaged framing should be replaced by a qualified structural contractor. See the report by the wood destroying insect inspector for need for termite treatment. See the report by the wood destroying insect inspector for further information and need for treatment.

INTERIOR CEILINGS: Moisture damage noted to the drywall in the loft above the kitchen. The dark discoloration, on drywall, likely contains mold growth of some type. There is the potential for damage to exist to the framing above the drywall. Staining extends to the laundry room ceiling below this loft. Have a qualified contractor remove the damaged drywall and reinforce or replace any damaged framing and sheathing PRIOR to closing. The inspector does NOT perform mold testing. Consult a qualified environmental contractor for further evaluation PRIOR to closing. Any necessary remediation should be professionally completed PRIOR to closing. Staining, on the rear wall and ceiling in the closet in the right rear bedroom, contained a higher level of moisture when compared to the adjacent non-stained areas. Staining was also observed on the ceiling in the left rear bedroom. Have a qualified contractor make all necessary repairs PRIOR to closing. Cracking and some staining noted on the header that runs across the front of the second story bedroom. This area appears to have been recently repainted. See the Roof section of the report in regard to deficiencies.

Inspection: 112523JM2 Address: 1054 W Chestnut St

STAIRCASES: There is inadequate vertical clearance above the bottom of the staircase that leads to the loft. This staircase also lacks a guardrail. Consult a qualified carpenter to determine how to best relocate/modify this staircase to improve safety. The guardrail, on the main staircase, is very old and loose. The guardrail should be secured or replaced to improve safety. Spacing between the rail balusters does not conform to current construction standards. This can present the potential for injury for small children. Install safety screening or have a qualified contractor install a modern guard rail to improve safety.

FIREPLACES AND CHIMNEYS: Neither fireplace is operational. Wood planks have been installed above the firebox of each fireplace. The chimney flues are NO longer accessible for inspection/evaluation. The fireplaces are for decorative purposes only. Do NOT attempt to start a fire in either fireplace. Consult a qualified chimney/fireplace contractor to determine the costs involved in making one or both fireplaces operational PRIOR to closing.

WINDOWS (AS VISIBLE FROM THE INTERIOR): The lower areas of the large fixed sash windows in the rear wall of the left addition, have been repainted (interior and exterior of these windows). Staining is visible through the paint. Staining was observed on the wall below the right side window in the right rear bedroom. Moisture damage noted to the front wall adjacent to the window in the front wall above the staircase landing. Although both areas were currently dry, there is the potential for recurring leaks depending on weather conditions. Have further evaluated by a qualified contractor and all necessary repairs completed to prevent recurring leaks. See the Exterior section of the report for further window deficiencies.

INACCESSIBLE LOWER ATTIC: There is NO visible means of access to the attic space above the ceiling in the left single story addition. Potential for damage/deficiencies to exist that are NOT visible for inspection. Have a qualified contractor install a scuttle access to allow this attic space to be inspected PRIOR to closing.

MOISTURE OBSERVATIONS (UPPER ATTIC): Staining, around both chimneys, was dry at this time. However, tar patching should be considered a temporary repair only. See the Roofing section of the report for additional information. Light spotty staining, on the sheathing, may contain mold growth of some type. The inspector does NOT perform mold testing. As mold growth can present a health safety concern, it is advised to have the attic further evaluated by a qualified environmental contractor PRIOR to closing. Any identified mold growth should be professionally remediated as needed.

FRAMING AND SUPPORT (BASEMENT AND CRAWLSPACE): Powder post beetle damage noted to multiple joists and beams in the basement. The extent of damage can NOT be fully determined without removal of some of the insulation and vapor barrier (applied to the underside of the wood plank flooring). The main beam is being supported with old hand hewn wood posts without adequate footings. A few screw jack columns have been installed in a few locations within the basement. Wood to soil contact was observed in the visible area of the crawlspace (under the right side of this old home). There is the potential for further rot and wood destroying insect damage to exist to the framing in this inaccessible crawlspace. The floors, on both stories of this home, are very unlevel. Have a licensed structural engineer further evaluate the framing, throughout this home, PRIOR to closing. All damaged framing should be replaced or reinforced by a qualified structural contractor as per the engineer's findings.

SUMP PUMP: The pump is being held up with multiple pieces of rope. Power to the pump is being supplied by means of extension cord wiring. The pump and discharge piping has been installed in an unprofessional manner. Have a licensed plumber install a submersible pump and rigid discharge pipe to ensure proper operation when needed. A licensed electrician should install a dedicated circuit and receptacle to safely power the sump pump.

BASEMENT MOISTURE OBSERVATIONS: Active moisture was noted on the crushed stone floor along the rear of the basement. A musty odor was noted when entering the basement. There is the potential for elevated mold spores to exist in the basement. The inspector does NOT perform mold testing. As mold growth can present a health safety concern, it is advised to consult a qualified environmental contractor for further evaluation PRIOR to closing. Any identified mold

Inspection: 112523JM2 Address: 1054 W Chestnut St

growth should be professionally remediated as needed. However, if the water penetration is NOT addressed recurring fungal growth will likely occur. See the Grounds and Roofing sections of the report for grading and drainage deficiencies. All roof and ground surface runoff should be directed away from the exterior walls of the home - to reduce the potential for recurring water penetration.

INACCESSIBLE CRAWLSPACE: The crawlspace, under the right side of the home (under the kitchen area) was NOT accessible for inspection. The old wood framed window, that once provided access to this area, is stuck in the closed position and is in contact with the soil. This old crawlspace contains a dirt floor. There is the strong potential for rot and wood destroying insect damage to exist in this area. The crawlspace should be made accessible to allow inspection PRIOR to closing. The crawlspace, under the left side addition, was entered for evaluation.

ELECTRICAL SUB-PANEL: The 20 amp 220 volt circuit breaker is undersized for the electric water heater. Have a licensed electrician install a proper 30 amp 220 volt circuit breaker and properly sized wiring to provide adequate power to promote proper operation of the water heater.

ELECTRICAL WIRING: An exposed splice was noted at the right front area of the basement (above the crawlspace area). This increases the risk for electrical shock. Have repaired by a licensed electrician. Two strands of old ungrounded "knob and tube" wiring was observed along the center of the basement. These wires did NOT test live with a voltage proximity tester. However, the inspector can NOT determine if any old "knob and tube" wiring may exist within the wall and ceiling cavities. Any such wiring, that may be located during renovations, should be removed and replaced by a licensed electrician where needed.

STANDBY GENERATOR SYSTEM: This home contains a natural gas powered whole house standby generator. The generator, electronic transfer switch and other related equipment are NOT evaluated as part of a home inspection. It should be determined if the system was installed with all necessary permits and permit approvals PRIOR to closing. Have the system evaluated by a licensed electrician, as desired, PRIOR to closing.

WELL: Type and depth and location of the well are unknown. Obtain information from owner on system and maintenance. **SPECIFIC WATER TESTING IS REQUIRED BY THE STATE OF NEW JERSEY** prior to the sale of a home. Have a qualified water testing laboratory test the water PRIOR to closing. Water operated for approximately 60 minutes during the inspection. Quantity of water appeared adequate during the inspection. NO evaluation as to quantity of water NOR condition of pump is made by this company. Have the well pump, tank and related equipment evaluated by a qualified well contractor PRIOR to closing. The inspector was unable to locate the well head. As such, the well head may be located below grade. This increases the risk for contamination of the water supply due to runoff of any possible surface contaminants. It is advised to have a well contractor install a well casing that extends above the grade of the soil. Note: The original dug well is likely located under the slab under the decorative manual well enclosure. Take precaution if digging around this area.

SUPPLY PIPING: Old galvanized steel supply piping runs in various areas of this home. Galvanized steel piping will corrode from the inside restricting the flow of water. Have a licensed plumber replace all remaining galvanized steel piping - before leaks can develop and water flow is reduced.

WASTE, DRAIN AND VENT PIPING: Corrosion was noted on the cast iron sewer lines (where visible). A wire hanger is secured over the connection of the PVC waster line to the older cast iron waste line (visible at the front right area of the basement). There is the potential for leaks to develop at this connection. Have a licensed plumber make all necessary repairs to prevent leaks from occurring in this area. The majority of the old cast iron waste lines is NOT visible for inspection (as they run in the inaccessible crawlspace). Due to the age of the piping, it is advised to have a licensed plumber conduct a camera scan of the underground and inaccessible piping to determine condition PRIOR to closing. Any damaged sections of piping should be replaced by a licensed plumber as needed. Underground and inaccessible piping are NOT visible for inspection. Potential for blockage/repair exists.

Inspection: 112523JM2 Address: 1054 W Chestnut St

WASTE DISPOSAL: The inspector can NOT determine if this old home is connected to the public municipal sewer system. Consult the owner and municipal sewer department to determine if this home is connected to the municipal sanitary sewer system **PRIOR** to closing. If still connected to a septic system, have the private waste disposal system evaluated by a qualified septic inspector **PRIOR** to closing. Note: This home inspection company assumes **NO** responsibility for septic failure NOR does it attempt to evaluate septic systems.

GAS MAIN AND METER: A natural gas odor was noted in the vicinity of the gas meter. A small gas leak was observed at the gas meter and related piping - as indicated with a combustible gas detector. Consult the gas utility for further evaluation and repair **PRIOR** to closing.

FURNACE: Although the furnace responded to the thermostat, the gas flame pattern was abnormal (orange tipping and some wavering to the burner flames). This can be indicative of incomplete combustion which can result in carbon monoxide accumulation. Have a licensed HVAC contractor further evaluate the furnace and make any necessary repairs to promote safe operation. The furnace is approximately 20 years old and near the end of its useful life. Recommend maintaining a service contract, on the heating system, with a qualified HVAC contractor. Replacement should be planned in the near future.

HEATING FUEL: An old steel oil tank is located near the front foundation wall within the basement. Although this tank is no longer in use, dark discoloration on the soil under the tank, may be the result of prior oil leaks (significant corrosion noted on the bottom of the tank). Have this soil, under and around the tank, tested by a qualified environmental contractor **PRIOR** to closing. Any necessary remediation should be completed by a qualified environmental contractor as needed. This tank as well as the vent and fill pipes (which still extend to the exterior of the home) should be removed **PRIOR** to closing. The inspector makes **NO** deliberate attempt to locate potential underground fuel storage tanks that may have been in use prior to the tank located in the basement.. Due to the environmental concerns associated with underground fuel storage tanks, **HIGHLY** recommend having a qualified environmental contractor conduct an underground tank search **PRIOR** to closing. Any tank(s), that may be located, should be professionally removed with all necessary permits and permit approvals **PRIOR** to closing.

COMBUSTION AIR AND VENTING: Although a corrugated flue liner has been installed, corrosion was noted on the flue connector (above the furnace). This may be the result of condensation formation within the liner and chimney. Have a qualified chimney contractor further evaluate the liner and chimney and make any necessary repairs to ensure safe operation of the furnace.

Many of these items will require further evaluation and repair by licensed or skilled trades people. **Recommend obtaining written documentation for all repairs or evaluations as requested.** Other items are also noted in the following report and should receive eventual attention. It is recommended that they be discussed between you and your attorney. The majority are the result of normal wear and tear. **Although a summary is provided, it is the responsibility of those obtaining the report to read its entire contents. For insurance and safety concerns, it is recommended that the township be contacted to determine whether permits were obtained for any major repairs or modifications to the home. This includes, but is not limited to, structural, electrical and plumbing work.**

Thank you for selecting **HomeSpect** to perform your home inspection. If you have any questions regarding the inspection report or the home, please feel free to contact us at the number above.

Sincerely,

Jason P. Mitchell
New Jersey Home Inspector Lic. Nbr: #24GI00056400



Inspection: 112523JM2 Address: 1054 W Chestnut St

Inspection: 112523JM2 Address: 1054 W Chestnut St

GENERAL INFORMATION

Inspection Information

<i>Inspection date:</i>	1/10/2026.
<i>Inspection start time:</i>	8:40 AM.
<i>Inspection end time:</i>	12:15 PM.
<i>Utility status:</i>	All on.
<i>House occupied:</i>	No.
<i>Weather:</i>	Clear.
<i>Soil condition:</i>	Damp. No rain for a few days prior to the inspection.
<i>Outside temperature:</i>	40 Degrees.
<i>Persons present at inspection:</i>	Two clients. Selling agent. Family members of clients.

Emergency Shut off Locations

<i>Water:</i>	At well tank in basement.
<i>Electric:</i>	At main panel in basement. Shut off main breaker.
<i>Gas:</i>	Each appliance should have its OWN shutoff valve. Have a licensed plumber install shutoff valves as needed. The presence of shutoff valves is not confirmed nor are shutoff valves tested during the inspection. Have further evaluated by a licensed plumber as needed.
<i>Heating System:</i>	Switch at side of furnace.

DEFINITIONS OF CONDITIONS

SATISFACTORY: A component or system found to be in adequate physical condition to perform its intended function at the time of inspection. No implication is made regarding expected longevity or future performance.

FAIR: A component or system performing only part, but not all of its function, in need of minor repair, showing declining usefulness or has lasted beyond the end of its normal life span.

POOR: A component or system not performing its function, exhibiting an unsafe condition, in need of major repairs now or in the near future. It is advised to address all **POOR** items prior to closing.

Inspection: 112523JM2 Address: 1054 W Chestnut St

GROUNDS

Roof and surface water must be controlled to help reduce moisture conditions in the basement and/or crawlspace. This means keeping gutters, if installed, clean and properly aligned; extending downspouts away from the foundation; and building up the grade so that roof and surface water are diverted away from the building. These simple procedures can help reduce basement and/or crawlspace water intrusion, which can possibly eliminate the need for costly drains and pumps to remove water that could have been diverted away from the foundation.

GRADING

General grade:

SATISFACTORY. Drainage appears adequate. Monitor to ensure surface runoff is being directed away from the building. Consult a qualified landscape contractor to install drains and underground drainage piping, as needed, to help direct runoff around the home.

Grading at the foundation wall:

FAIR. Recommend adjusting the grade around the foundation to direct water away from the building. This may help to reduce water penetration into the foundation walls. Be sure to maintain an approximate six inch gap between the siding and the soil level to help reduce the potential for wood destroying insect activity.

TREES AND SHRUBS

Condition:

POOR. The limbs, of the large old tree at the front of the lot, are in contact with the utility lines that run along the street. Have a qualified tree contractor remove these limbs to reduce the potential for damage to the utility lines. Recommend removal of all vines from on and around the structure to help reduce the potential for damage to the siding. Due to the season, the condition of most of the trees could NOT be determined.

Monitor the property for dead trees and branches and have removed by a qualified tree contractor as needed. Keep trees and shrubs trimmed away from the building. Monitor condition of trees and prune as needed.



SIDEWALK AND WALKWAYS

Material:

Brick pathways.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Unlevel brick pavers.

Condition:

POOR. Uneven and unlevel brick pavers present a potential trip hazard. Have a qualified paving contractor level the pavers or replace the walkway to improve safety. The concrete stepped walkway, that leads down to the bridge and stream, is cracked and poorly supported. This presents the potential for injury. This stepped walkway requires replacement at this time. Consult a qualified mason contractor to replace this walkway to improve safety.



Damaged stepped walkway.

DRIVEWAY

Material:

Condition:

Crushed stone and dirt.

FAIR. There is a minimal amount of crushed stone present. Have a qualified landscape contractor apply additional stone as desired.

RETAINING WALLS

Material:

Stone with mortared joints.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Stone wall leaning away from property.

Condition:

FAIR. The old stone wall is leaning away from the property and toward the street. Monitor for additional movement and plan on replacement of the wall.

FENCING

Condition:

POOR. The old fencing, along the front of the lot, is damaged/worn. The fencing should be replaced by a qualified contractor.

PATIO AND TERRACES

Material:

Masonry pavers.

Condition:

POOR. The paver patio has settled and is unlevel in various areas. Have a qualified mason contractor repair or replace this old patio as desired.

OUT BUILDINGS

Condition:

POOR. Deterioration to multiple bricks that comprise the small brick shed at the right rear corner of the lot (just above the stream). This small building has been constructed near the upper stream bank and likely has NOT been constructed on a footing. Have a qualified contractor make all necessary repairs to prevent further deterioration to the masonry. Monitor for erosion of the soil, between this structure and the stream, and have a qualified mason contractor install a retaining wall as needed. The wood framed shed, located at the left front area of the lot, was locked and could not be entered for inspection. The key should be obtained and the interior of this shed evaluated PRIOR to closing.



Deterioration to bricks.

Inspection: 112523JM2 Address: 1054 W Chestnut St

OTHER

Condition and Type:

POOR. Deflection and vibration can be felt to the bridge deck that extends over the stream located behind the home. The joists, that support the decking, are undersized for their span. Have a qualified contractor reinforce the bridge span to improve safety.



Joists are undersized for span.

OTHER

Condition and Type:

This home is located on a multi-acre lot. Woods are located behind the stream. A few downed trees were observed in the woods. The scope of this inspection is limited to the house and the grounds directly adjacent to the house only. A stream runs across the lot behind the house. The inspector makes NO determination as to the potential for the stream to overflow its banks during periods of heavy and/or extended rainfall. Obtain history of any possible prior flooding, due to this stream, from the owner PRIOR to closing.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Inspection: 112523JM2 Address: 1054 W Chestnut St

EXTERIOR

The following statements are based on an inspection of the **VISIBLE** portion of the exterior of the home at the time of the inspection. Exterior wood surfaces require some type of finish to help reduce the potential for rot and deterioration. This inspection does NOT attempt to determine the quality of such finishes. All untreated wood surfaces need regular applications of oil based paint or other special coatings to resist rot. In many instances, the original exterior wall cladding is covered with some type of siding and the original material is **NOT** visible for inspection.

TYPE OF BUILDING

Type of structure

One Family.

Primary roof design:

Gable.

STRUCTURE

Approximate age:

The original home was constructed 233+ years ago. Houses built prior to 1978 have the potential of containing lead paint. The actual content of the paint on this structure can NOT be evaluated without special lead paint testing. This should be done by a licensed lead paint specialist PRIOR to closing. Concerns regarding lead paint should be addressed with the local health department or the Consumer Product Safety Commission. A single story addition has been constructed on the left side of the home. This addition was likely constructed 50+ years ago. A home inspection is NOT a municipal building code inspection. It should be determined if all necessary permits and permit approvals were obtained for all work performed PRIOR to closing.

Construction method:

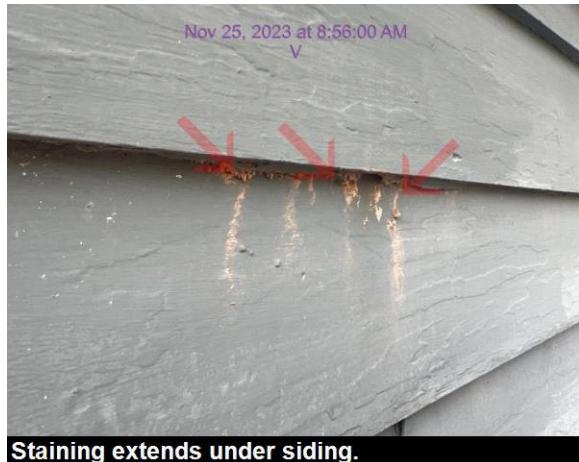
Wood Frame.



Rot and deflection to large window sill.

Condition: (As noted from the POOR. The rear Rot and evidence of wood destroying insect damage noted in various areas around the exterior of the home. See comments below.)

Inspection: 112523JM2 Address: 1054 W Chestnut St



EXTERIOR WALL SURFACES

Primary material used:

Wood clapboard.



Condition:

POOR. Loose clapboard siding was observed in multiple areas around the perimeter of the home. The siding is likely original to the home. Chipped and peeling paint noted on various areas of the siding. Due to the age of this home (233+ years old), there is the strong potential for lead paint to exist. Cracks noted in various clapboards. The siding has been installed over the studs without sheathing (in most areas). Although consistent with the age of this home, the lack of sheathing can result in moisture intrusion and drafts into the wall cavities. Brownish staining, under some of the clapboards on the rear of the home, can be indicative of moisture and wood destroying insect damage to the framing within the wall cavity. Have a qualified structural

Inspection: 112523JM2 Address: 1054 W Chestnut St

contractor remove the siding in these areas and evaluate the framing for possible damage PRIOR to closing. Any damaged framing should be replaced as and where needed.

EXTERIOR TRIM

Primary type:

Wood. Vinyl. Aluminum.



Rot along bottom of rear sunroom.

Condition:

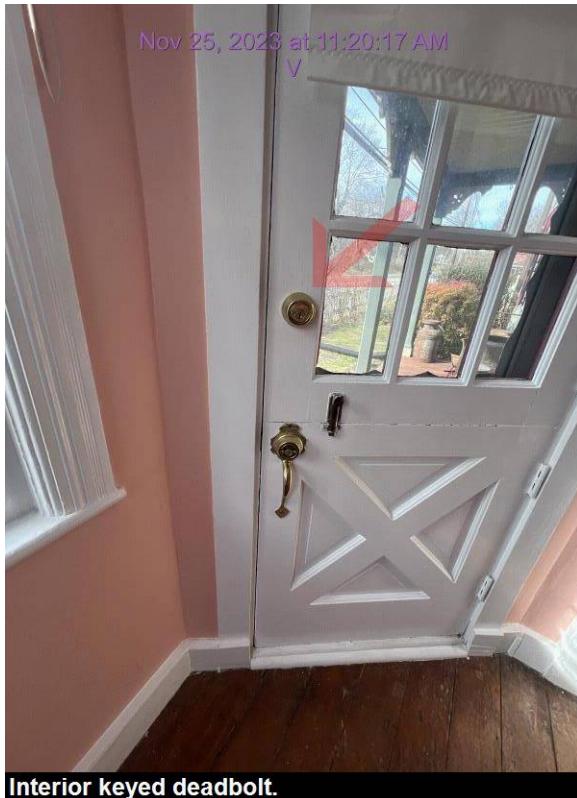
POOR. Rot noted to the trim in multiple areas around the exterior of the home. Have a qualified contractor replace the rotted sections of trim to reduce the potential for wood destroying insect activity.

EXTERIOR DOORS

Condition:

POOR. Interior keyed deadbolts are installed on the entrance doors. This presents a SAFETY CONCERN as interior keyed deadbolts can prevent emergency egress in the event of a fire. All interior keyed deadbolts should be replaced with exterior keyed locksets to improve safety. The keys, to some of the exterior doors, were NOT available. All keys should be obtained and operation of all doors tested PRIOR to closing.

Inspection: 112523JM2 Address: 1054 W Chestnut St



WINDOWS

Type:

Single pane windows. If the house was built today it would contain double pane windows. Research window types and installers prior to replacing windows.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Rot to and around large rear window.

Condition:

POOR. Extensive rot and settlement noted to the large rear wood framed window as well as the sill under this window. Cracks noted to the plaster on the interior of this wall (under this fixed sash window). There is the strong potential for framing damage to exist in this wall cavity. Have a qualified contractor remove the siding from around this window and evaluate the framing for suspected damage PRIOR to closing. All damaged framing should be replaced as and where needed. Rot noted to the majority of the windows. Cracked glass panes noted in many of the windows. The majority of the windows are original to the home (over 200 years old) and require replacement at this time. Most of the windows are painted shut and can NOT be opened. Inoperable windows can prevent emergency egress in the event of a fire in the home. Peeling and chipped paint, on the various windows and sills, can contain lead - due to the age of the home. This presents a health safety concern. All of the windows should be replaced to provide proper operation and improve safety. Consult qualified contractors for estimates for replacement of all windows PRIOR to closing. Due to the age of the home, the framed window openings are no longer square. This will likely increase the cost of window replacement.

STORMS/SCREENS

Type:

Storm windows.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Rot to storm window.

Condition:

POOR. Rot noted to the majority of the old storm window frames. All of these old storm windows should be replaced along with the windows. Screens should be installed when the windows are replaced.

PORCHES AND STEPS TO BUILDING

Material:

Wood framed front porch. Masonry (entrance to the left side addition).



Rot to base of porch post.

Condition:

POOR. Rot noted to the base of the support posts on the front wood framed porch. Have a qualified contractor replace these posts to properly support the roof above this porch. The concrete stoop, that provides access to the front entrance door to the left side addition, has settled back toward the building. This can result in standing water accumulation on the landing. Have repaired by a qualified mason contractor.

Inspection: 112523JM2 Address: 1054 W Chestnut St

BASEMENT WINDOW AREA

Condition:

POOR. The windows are in contact with the grade of the soil. This is conducive to rot and wood destroying insect damage. Have a qualified landscape contractor install window wells and well covers to prevent further wood to soil contact.



Window in contact with soil.

EXTERIOR ELECTRICAL RECEPTACLES & LIGHTS

Type

Receptacle(s) that have ground fault protection and light fixtures.

Condition:

POOR. The ground fault protected receptacle, at the right rear corner of the home, did not trip when tested. This increases the risk for electrical shock. Have a licensed electrician repair or replace this receptacle to improve safety. Underground feeder type non-metallic cable has been run along the exterior walls of the home. This wiring was designed for burial and should NOT be exposed to the elements. Have a licensed electrician install conduit to protect this wiring.

HOSE FAUCET

Condition:

SATISFACTORY. It is advised to turn the interior shutoff valves off, prior to freezing weather conditions, to help reduce the potential for freezing and damage to the faucets and piping.

Inspection: 112523JM2 Address: 1054 W Chestnut St

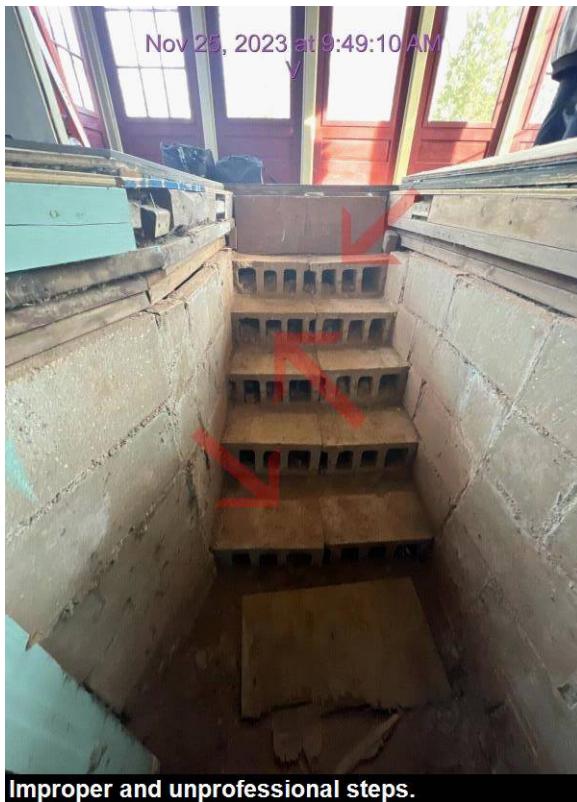


BASEMENT WALKOUT

Condition:

POOR. The masonry block walkout foundation has been poorly constructed. Movement noted to the masonry block walls. The masonry blocks, that comprise the steps, have been installed in the wrong orientation (the blocks have been laid on their side). The posts, that support the door framing, rest in the soil. This walkout has been constructed in a very unprofessional manner. Have a qualified mason contractor replace the walkout foundation and steps to improve safety.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Improper and unprofessional steps.

OTHER

Condition and Type:

POOR. Extensive rot noted to the framing around the base of the rear enclosed porch/patio (rot was observed to the majority of the framing around the perimeter of this room). Rot also noted to the soffits under the roof overhangs. Have a qualified contractor replace all rotted framing and soffit trim/cladding.



Rot to door sill to sun porch.

Inspection: 112523JM2 Address: 1054 W Chestnut St

ROOFING

Many roofs are hazardous to walk on and in most cases can be satisfactorily inspected from the ground with binoculars and/or from window(s) above the roofing surfaces. Accordingly, unless noted otherwise, the inspector has based the observations of the roof on visible evidence that could be observed **WITHOUT** walking on the roof. The interior, of chimneys (for heating, fireplaces and/or wood/gas stoves), is very difficult to evaluate without special equipment and are NOT inspected. Chimneys should be inspected by a qualified chimney contractor/inspector PRIOR to closing. The best method of inspection is to perform a camera scan of the entire length of the interior of the flue which is known as a "Level 2" chimney inspection. It is advised to have a qualified chimney contractor/inspector conduct a "Level 2" type inspection on each chimney PRIOR to closing.

MAIN HOUSE ROOF

How inspected:

From ground with binoculars (upper roof surfaces). From ground with ladder at eaves (lower roof surfaces).



Primary type:

Slate.



Overall condition:

POOR. Damaged slates were observed in multiple areas of the upper roof surfaces as well as the lower right roof surfaces. Multiple stains and water damage were observed in the loft above the kitchen. Stains were also observed in the second story bedrooms. Extensive tar patching noted on the slates around both chimneys. Tar should NOT be considered a proper and permanent repair. Intermittent active leaks are probable during certain weather conditions (such as wind driven rain, heavy rain and snow accumulation). Have a qualified slate roof contractor replace all damaged slates and make all necessary repairs around both chimneys - to prevent recurring leaks in these

Inspection: 112523JM2 Address: 1054 W Chestnut St

areas.

ADDITIONAL ROOFING

Location:

Metal (front porch roof). Rolled asphalt roofing (rear sun room).



Tar patching above sunroom roof.

Primary type:

Metal (front porch roof). Rolled composition material (rolled asphalt roofing) - rear sun room.



Staining on rear wall of sun porch.

Overall condition:

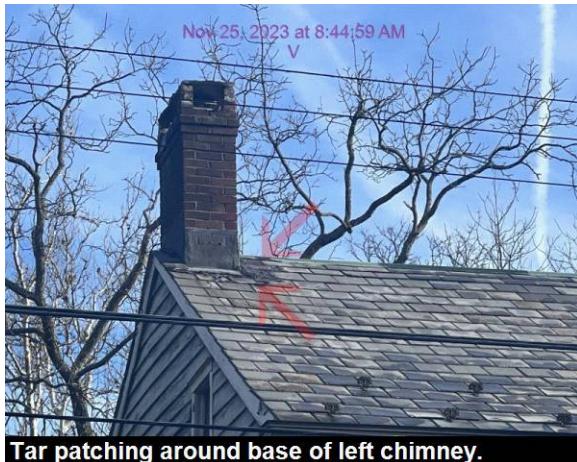
POOR. Extensive staining runs down the siding on the wood siding on the rear wall of the sunroom. Tar patching was noted to the roofing above this area. This should NOT be considered a proper and permanent repair. Rolled asphalt roofing is considered a low quality roofing product with a limited lifespan. Complete replacement of this roofing is advised to prevent suspected recurring leaks. The roofing, on the flat roof deck above the right front two story window bay, was NOT visible for inspection. However, staining and repainting was noted to the ceiling in the bathroom (where the flat roof meets the front wall of the home). Although currently dry, recurring leaks are suspected in this area. Have the roofing, above the bay, evaluated by a qualified roofing contractor and this roofing replaced and/or other repairs completed as needed.

EXPOSED FLASHING

Type:

Metal.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Tar patching around base of left chimney.

Condition:

POOR. Use of tar noted on the slate around the base of both chimneys. Both chimney flashing have been patched with roofing tar. This should NOT be considered a proper and permanent repair. Leaks will likely redevelop once the tar dries out over time. Have a qualified slate roofing contractor replace both chimney flashings to prevent a recurring leakage.



Tar patching on right chimney flashing.

CHIMNEY(S) (EXTERIOR VISIBLE AREA)

Type of material:

This home contains two large brick chimneys.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Liner visible at top of chimney.

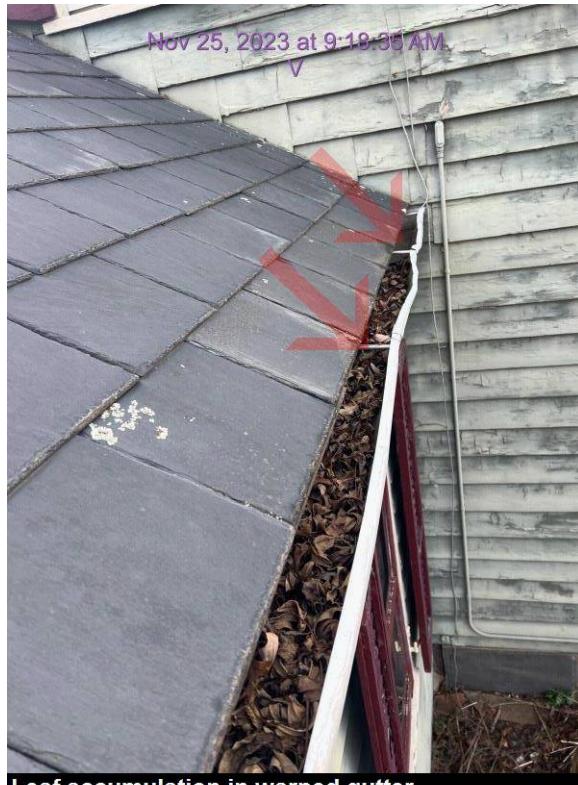
Condition:

POOR. Deterioration noted to the masonry at the top of each of the chimneys. This can be conducive to loosening of the masonry components and increased potential for moisture leakage into the chimney structures. Have a qualified chimney contractor make all necessary repairs to both chimneys to reduce the potential for further deterioration. Evidence of metal liner was observed at the top of the left chimney. Exterior evaluation only. The interior of the chimney is NOT inspected. See the Heating section of the report for further information.

GUTTERS AND DOWNSPOUTS

Material:

A mixture of aluminum and galvanized steel gutters and downspouts.



Leaf accumulation in warped gutter.

Condition:

POOR. Warped gutters and downspouts noted in various areas. This can result in overflow of roof surface runoff and water accumulation along the foundation. Have a

Inspection: 112523JM2 Address: 1054 W Chestnut St

qualified contractor replace all damaged gutters and downspouts to direct roof surface runoff away from the house. Leaf accumulation noted in the visible portions of the gutters. The gutters should be cleaned to promote proper drainage of roof surface runoff away from the house. Keep gutters clean and keep water leading away from the foundation. Gutters require periodic re-nailing.

Inspection: 112523JM2 Address: 1054 W Chestnut St

KITCHEN AND APPLIANCES

The continued operation of all major appliances is dependent on many internal factors that can NOT be measured by a visual inspection. All appliances should be operated during the final walk through of the home and your agent and attorney informed of any inoperative appliances PRIOR to final closing. The Consumer Product Safety Commission periodically announces appliance recalls. Recommend checking all appliances in the home for a possible recall notice at <http://www.cpsc.gov>. This is BEYOND the scope of a home inspection. It is highly recommended that kitchen stoves/ovens be secured to prevent the stove/oven from tipping over in the event that a child climbs up or sits on an open oven door. This can result in SERIOUS BURNS/INJURY.

CABINETS

Condition:

FAIR. Improper screws have been used to secure the cabinets to the walls. Monitor for any evidence of movement of the cabinets and have a qualified contractor install proper cabinet mounting screws as needed.

COUNTER TOPS

Condition:

SATISFACTORY.

KITCHEN FLOORING

Type:

Vinyl plank.

Condition:

SATISFACTORY.

STOVE/OVEN

Condition:

FAIR. Although operational, an anti-tip bracket has NOT been installed on the rear of the oven. Have a qualified appliance technician install an anti-tip bracket to prevent the oven from tipping forward should the oven door be loaded while open.

KITCHEN VENTILATION

Type:

Microwave oven with a built in fan - ductless type (re-circulating unit). Some of these units have an additional charcoal filter located in the top of the microwave which needs periodic replacement.

Condition:

SATISFACTORY. Inspection is limited to testing the built-in vent fan and light fixture ONLY.

KITCHEN PLUMBING

Condition:

SATISFACTORY. No leaks in visible areas.

DISHWASHER

Condition:

FAIR. Although operational, the bottom fascia prevents the door from being fully opened. Have a qualified appliance contractor make all necessary repairs.

COUNTER ELECTRICAL RECEPTACLES

Type:

A combination of receptacles that have ground fault protection and non ground fault protected receptacles.

Condition:

POOR. A two prong receptacle is installed above the right side countertop. Two prong receptacles are inadequate for modern electrical needs. Have a licensed electrician install a ground fault protected receptacle to improve safety and reduce the potential for electrical shock.

KITCHEN LIGHT(S)

Condition:

SATISFACTORY.

OTHER

Condition and Type:

Refrigerator. Though functional, check operation again at closing.

Operation of the microwave was NOT tested as part of this home inspection (vent fan

Inspection: 112523JM2 Address: 1054 W Chestnut St

operated ONLY). Operation of the microwave should be tested at the walkthrough PRIOR to closing.

CABINETS

Condition:

Inspection: 112523JM2 Address: 1054 W Chestnut St

BATHROOMS

Inadequate or improperly used ventilation is a common deficiency experienced in many bathrooms . It is strongly advised that exhaust fans be used and/or windows be opened. This should be done when high humidity conditions (such as showering or prolonged bathing) exist. Extra care should be given in inspecting the bathrooms during the final walk through of the home. All plumbing fixtures should be operated for an extended period of time and wall/floor tile carefully checked for damage not present during the original home inspection. If problem areas are observed, be sure to inform your agent and attorney prior to closing

BATHROOM 1

Location: Laundry room. First story rear of home.

Type of fixtures: Toilet. Laundry sink.

Condition: Fixtures & Surround: POOR. A toilet is located in the rear laundry room. There is NO source of heat in this laundry room . As such, there is the strong potential for the plumbing to the toilet, sink and washer to freeze during cold winter weather conditions. Have a licensed HVAC contractor install a source of heating in this room PRIOR to closing. The sink faucet drips when in the off position. Corrosion noted to the drain piping under the sink. The sink legs are NOT secured to the floor. Have a licensed plumber make all necessary repairs.



Corrosion on drain piping under sink.

Plumbing leaks: (ALL ACTIVE See comments above.

**LEAKS SHOULD BE REPAIRED
PRIOR TO CLOSING)**

Ventilation: Condition and type: POOR. There is NO source of ventilation in this room. Have a licensed HVAC contractor install an exhaust fan as desired.

Floor covering: Condition and type: POOR. Carpet squares have been installed over old floor tiles which may contain asbestos. The floor tiles should NOT be disturbed or removed without first having them

Inspection: 112523JM2 Address: 1054 W Chestnut St

tested for possible asbestos content. The inspector does NOT perform asbestos testing. Consult a qualified environmental contractor for further evaluation PRIOR to closing.

Electric: Condition and type: POOR. The receptacle, that serves the washer and dryer, lacks ground fault protection. This increases the risk for electrical shock. Have a licensed electrician install a GFI protected receptacle to improve safety.

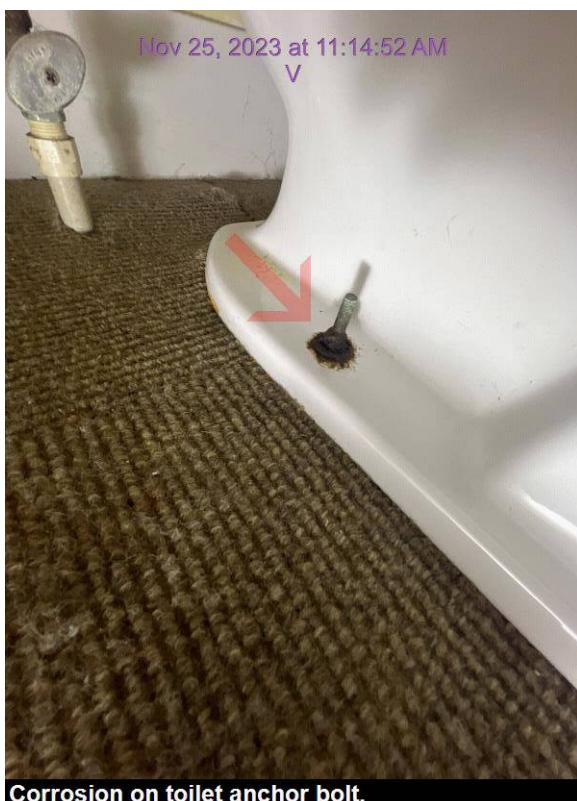
Other: Condition and type

BATHROOM 2

Location: 1st floor addition.

Type of fixtures: Toilet and sink.

Condition: Fixtures & Surround: POOR. The cold water faucet handle, on the sink, is seized. Have a licensed plumber repair or replace the sink faucet to restore operation. The anchor bolts, that secure the toilet to the flange, are corroded. Have a licensed plumber replace the wax seal, flange and anchor bolts to reduce the potential for leaks to develop.



Corrosion on toilet anchor bolt.

Plumbing leaks: (ALL ACTIVE) See comments above.

LEAKS SHOULD BE REPAIRED

PRIOR TO CLOSING)

Ventilation: Condition and type: POOR. Exhaust fan, recommend periodic cleaning for proper operation and safety. The exhaust fan and light fixture did NOT respond to the wall switch. All circuit breakers were in the ON position, Have further evaluated by a licensed electrician and all necessary repairs completed to restore operation.

Floor covering: Condition and type: FAIR. Carpet squares. Carpeting is NOT advised in a bathroom. It is advised to have a qualified flooring contractor install a more durable type of floor covering.

Electric: Condition and type: POOR. Light fixture ONLY. Have a licensed electrician install a ground fault protected wall mounted receptacle as needed. The light fixture and exhaust fan were NOT

Inspection: 112523JM2 Address: 1054 W Chestnut St

operational. See comments above.

BATHROOM 3

Location:

Type of fixtures:

2nd floor.

Built-in tub with a shower surround, sink(s) and toilet.



Staining/moisture damage under bathroom.

Condition: Fixtures & Surround:

POOR. Staining and repainting noted on the ceiling below this bathroom. The stained areas contained an elevated level of moisture after running water at the plumbing fixtures in this bathroom. The thin simulated tile wall panels are loose (located above the tub). The floor boards, adjacent to the tub, are loose. The floor is pitched toward the tub. There is the potential for rot and mold growth to exist within the floor cavity that is NOT visible for inspection. Have a qualified contractor open up the first story ceiling and/or the bathroom floor to determine extent of damage that may be present. The cast iron tub and sink are very old. Complete renovation of this bathroom should be planned. Note: Although some newer piping has been installed behind the tub/shower faucet, old galvanized steel supply lines are present. All remaining galvanized steel supply piping should be replaced when this bathroom is renovated.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Newer piping installed behind tub.

*Plumbing leaks: (ALL ACTIVE) Active leakage was observed on the ceiling below this bathroom. See comments
LEAKS SHOULD BE REPAIRED above.
PRIOR TO CLOSING)*

Inspection: 112523JM2 Address: 1054 W Chestnut St



Galvanized steel supply piping.

Ventilation: Condition and type:

FAIR. Windows only. It is advised to have a licensed HVAC contractor install an exhaust fan to reduce moisture/humidity accumulation in this bathroom.



Elevated moisture on stained ceiling.

Floor covering: Condition and type: POOR. The old wood floor planking has settled toward the tub. There is the potential for rot and other deterioration to exist to the framing under the floor. See comments above.

Electric: Condition and type:

FAIR. Receptacle that has ground fault protection (located near the sink) & light fixture. The second receptacle, installed at the base of the wall, lacks ground fault protection. Have a licensed electrician install a GFI receptacle to improve safety.

Inspection: 112523JM2 Address: 1054 W Chestnut St

INTERIOR

Most thin diameter cracks in interior walls and ceilings are minor and are considered cosmetic flaws. Wider cracks in old plaster walls can be indicative of delamination of the plaster from the lath. Patching to such cracks should be considered temporary. If further delamination is experienced, the plaster will need to be removed and replaced with drywall. Nail pops are due to normal expansion and contraction of the wood framing behind the drywall. These pops or imperfections are of no structural significance. Repairs generally involve replacing the drywall nails with screws, patching, , and repainting. No effort was made to move furniture or other obstructions which are sometimes present and restrict viewing of interior areas. If damage/deficiencies are noticed during the final walk through of the home, be sure to document them and inform your agent and attorney prior to the closing. The inspector is not qualified to detect the presence of Chinese Drywall. Accordingly the issue of Chinese Drywall (and its potential problems) is beyond the scope of the inspection report. Consult a qualified specialist should evaluation of the type and quality of the drywall be desired PRIOR to closing.

FLOORS (Majority)

Type:

Wood.

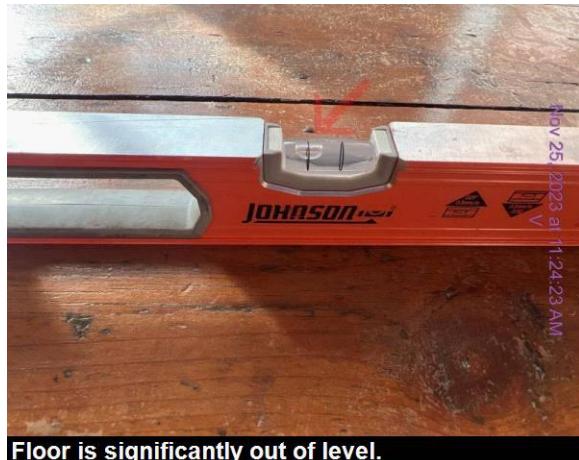


Extensive deflection to wood floor.

Condition:

POOR. Although some level of settlement/deflection to the floors should be expected due to the age of this home, excessive deflection was noted in multiple areas on the first and second floors. The floor, in the left two bedrooms, have settled over an inch and half. A similar amount of deflection was noted to the first story ceiling below these bedrooms. Deflection and settlement noted to the floors in multiple other areas of the home. Powder post beetle damage noted to multiple joists within the basement. Have the structure of this home further evaluated by a licensed structural engineer to determine best means of reinforcement and repairs PRIOR to closing. All necessary repairs and reinforcement should be completed by a qualified structural contractor as per the engineer's findings/recommendations to prevent further movement.

Inspection: 112523JM2 Address: 1054 W Chestnut St

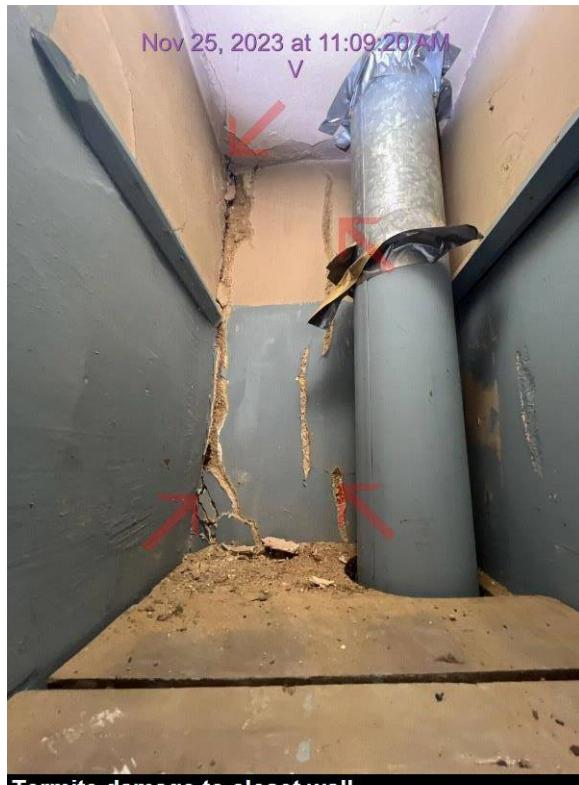


Floor is significantly out of level.

WALLS

Material:

Plaster on wood lath. Old plaster can contain asbestos. The plaster should NOT be disturbed or removed without first having it tested for possible asbestos content. The inspector does NOT perform asbestos testing. Consult a qualified environmental contractor for further evaluation PRIOR to closing. Drywall (wall board). Wood paneling.



Termite damage to closet wall.

Condition:

POOR. Termite damage noted to the wall within the closet (to the left of the left fireplace). Cracks extend upward into the wall in the front left bedroom above this area. There is the strong potential for termite damage to exist to the framing within this wall cavity. Have a qualified structural contractor open up the walls to determine extent of suspected damage present PRIOR to closing. Any damaged framing should be

Inspection: 112523JM2 Address: 1054 W Chestnut St

replaced by a qualified structural contractor. See the report by the wood destroying insect inspector for need for termite treatment.



Cracked bedroom wall above termite damage.

CEILINGS

Material:

Drywall (wall board). Plaster on wood lath. Old plaster can contain asbestos. The plaster should NOT be disturbed without first having it tested for possible asbestos content. The inspector does NOT perform asbestos testing. Consult a qualified environmental contractor for further evaluation PRIOR to closing.



Water damage and suspected mold in loft.

Condition:

POOR. Moisture damage noted to the drywall in the loft above the kitchen. The dark discoloration, on drywall, likely contains mold growth of some type. There is the potential for damage to exist to the framing above the drywall. Staining extends to the laundry room ceiling below this loft. Have a qualified contractor remove the damaged

Inspection: 112523JM2 Address: 1054 W Chestnut St

drywall and reinforce or replace any damaged framing and sheathing PRIOR to closing.

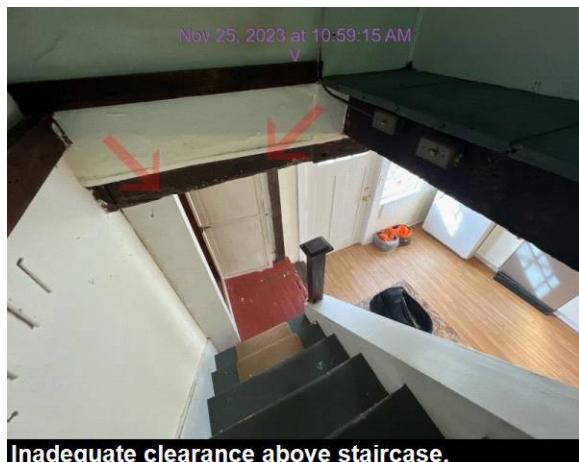
The inspector does NOT perform mold testing. Consult a qualified environmental contractor for further evaluation PRIOR to closing. Any necessary remediation should be professionally completed PRIOR to closing. Staining, on the rear wall and ceiling in the closet in the right rear bedroom, contained a higher level of moisture when compared to the adjacent non-stained areas. Staining was also observed on the ceiling in the left rear bedroom. Have a qualified contractor make all necessary repairs PRIOR to closing. Cracking and some staining noted on the header that runs across the front of the second story bedroom. This area appears to have been recent repainted. See the Roof section of the report in regard to deficiencies.



STAIRS

Condition:

POOR. There is inadequate vertical clearance above the bottom of the staircase that leads to the loft. This staircase also lacks a guardrail. Consult a qualified carpenter to determine how to best relocate/modify this staircase to improve safety. The guardrail, on the main staircase, is very old and loose. The guardrail should be secured or replaced to improve safety. Spacing between the rail balusters does not conform to current construction standards. This can present the potential for injury for small children. Install safety screening or have a qualified contractor install a modern guard rail to improve safety.



Inspection: 112523JM2 Address: 1054 W Chestnut St

FIREPLACES

Components and/or type:

This home contains two masonry fireplaces which are NO longer operational.



Condition:

POOR. Neither fireplace is operational. Wood planks have been installed above the firebox of each fireplace. The chimney flues are NO longer accessible for inspection/evaluation. The fireplaces are for decorative purposes only. Do NOT attempt to start a fire in either fireplace. Consult a qualified chimney/fireplace contractor to determine the costs involved in making one or both fireplaces operational PRIOR to closing.



DOORS

General condition:

FAIR. Old doors with some racking of the door frames. This is consistent with the age of this home.

WINDOWS

Types:

Wood single/double hung. Wood fixed sash.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Rough patching under window.

Condition:

POOR. The lower areas of the large fixed sash windows in the rear wall of the left addition, have been repainted (interior and exterior of these windows). Staining is visible through the paint. Staining was observed on the wall below the right side window in the right rear bedroom. Moisture damage noted to the front wall adjacent to the window in the front wall above the staircase landing. Although both areas were currently dry, there is the potential for recurring leaks depending on weather conditions. Have further evaluated by a qualified contractor and all necessary repairs completed to prevent recurring leaks. See the Exterior section of the report for further window deficiencies.



Moisture damage to front wall.

Inspection: 112523JM2 Address: 1054 W Chestnut St

ATTIC

Stains from condensation can be observed in most attics. Such stains may contain mold growth of some type. The home inspector does NOT perform mold testing. A qualified environmental contractor should be contacted for evaluation of the attic for mold growth PRIOR to closing. If it has not rained recently prior to the inspection, it can be quite difficult to determine if moisture stains are active. Although stained areas may be dry during the home inspection, there is the potential for intermittent leaks to be active depending on weather conditions. Active leaks can occur at any time regardless of the age and condition of the roofing. It is advised to monitor the attic during and after rain and snow events to determine if active leaks may be present.

ACCESS

Method: NOTE: Be very careful if A narrow staircase with shallow treads provides access to the attic. Have a qualified contractor install a handrail, above this staircase, to improve safety. There is NO visible on rafters or trusses. Do NOT step on the insulation. Personal Potential for damage/deficiencies to exist that are NOT visible for inspection. Have a qualified contractor install a scuttle access to allow this attic space to be inspected PRIOR to closing.

MOISTURE STAINS (ATTIC)

Observations:

Staining, around both chimneys, was dry at this time. However, tar patching should be considered a temporary repair only. See the Roofing section of the report for additional information. Light spotty staining, on the sheathing, may contain mold growth of some type. The inspector does NOT perform mold testing. As mold growth can present a health safety concern, it is advised to have the attic further evaluated by a qualified environmental contractor PRIOR to closing. Any identified mold growth should be professionally remediated as needed.



Inspection: 112523JM2 Address: 1054 W Chestnut St

STORAGE

Available storage:

Light. The area can only be used for storage due to construction methods.

ROOF FRAMING

Condition & type:

FAIR. The original rafters are undersized for their span - which is consistent with the age of this home. The attic floor, above the left two bedrooms, has sagged. The bedroom floors, under this area, have also sagged. See the Interior section of the report for additional information and need for further evaluation. Note: The rafters are connected with wood dowels (at the ridge). This is consistent with the age of this home.

SHEATHING (ATTIC)

Condition and type:

SATISFACTORY. Where visible. Plank.

ATTIC INSULATION

Type:

Cellulose.

Average (approx) thickness and Unknown.

R-value:

Location:

Within the floor system.

Condition:

FAIR. Cellulose insulation is visible along the edge of the attic floor (where the floor meets the front and rear edges of the roof). The amount and condition of the insulation can NOT be determined as it is NOT visible for inspection.

ATTIC VENTILATION

Type:

Windows only (above the second story of the home). Gable end louver (attic above the left single story addition).

Condition:

FAIR. The quantity of ventilation is minimal for modern construction standards. Have the attic spaces further evaluated by a licensed HVAC contractor to determine how to best improve air flow up and through the attic spaces.

ELECTRICAL IN ATTIC

Condition:

SATISFACTORY. Where visible.

Inspection: 112523JM2 Address: 1054 W Chestnut St

BASEMENT/STRUCTURE

Basement dampness is frequently noted in homes and the conditions that cause it can NOT always be determined by your inspector. Evidence of moisture penetration is often concealed by recent painting and/or extensive storage around the perimeter of the foundation. The detection of mold is BEYOND THE SCOPE of a home inspection. It is advised that a qualified mold inspector be contacted for further evaluation of the home PRIOR to closing. Any identified mold growth should be professionally remediated by a qualified mold remediation contractor.

A pest control inspection is NOT performed as part of a home inspection. No deliberate attempt is made by the inspector to detect past or present insect and/or rodent activity. We recommend contacting a qualified pest control contractor if you desire more information on this subject or if a pest control inspection of the home is desired.

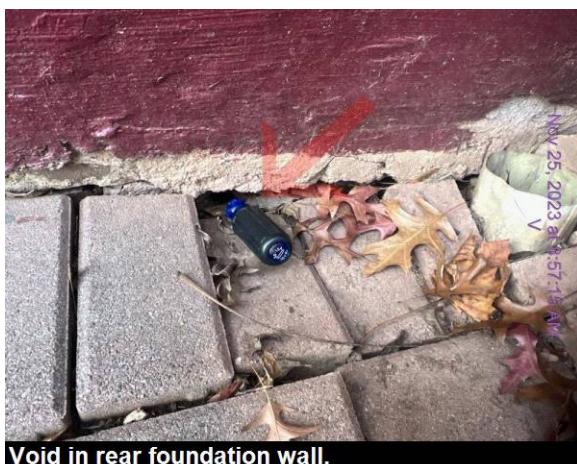
BASEMENT

Type and visibility:

Full foundation system - with open walls in most areas. However, insulation and a vapor barrier limits inspection of the underside of the plank flooring and some of the framing. Potential for damage/deficiencies to exist that are NOT visible for inspection.

FOUNDATION

Foundation system: Condition & FAIR. Stone with mortared joints (majority of the old foundation). Brick with mortared joints (part of the old foundation). Concrete block (left addition). A small void was noted in the bottom of the exterior rear foundation wall. Have a qualified mason contractor fill this void to reduce the potential for water penetration into the foundation.



Void in rear foundation wall.

FRAMING AND SUPPORT

Type:

Wood joists, girder, header with wood posts.

Inspection: 112523JM2 Address: 1054 W Chestnut St



Powder post beetle damage to joist.

Condition:

POOR. Powder post beetle damage noted to multiple joists and beams in the basement. The extent of damage can NOT be fully determined without removal of some of the insulation and vapor barrier (applied to the underside of the wood plank flooring). The main beam is being supported with old hand hewn wood posts without adequate footings. A few screw jack columns have been installed in a few locations within the basement. Wood to soil contact was observed in the visible area of the crawlspace (under the right side of this old home). There is the potential for further rot and wood destroying insect damage to exist to the framing in this inaccessible crawlspace. The floors, on both stories of this home, are very unlevel. Have a licensed structural engineer further evaluate the framing, throughout this home, PRIOR to closing. All damaged framing should be replaced or reinforced by a qualified structural contractor as per the engineer's findings.



Powder post beetle damage to joist.

FLOOR SHEATHING

Condition and type:

The original wood plank flooring was nailed to the original framing. This is consistent with the age of this old home. Various floor boards are loose and should be secured once all structural repairs are completed.

Inspection: 112523JM2 Address: 1054 W Chestnut St



BASEMENT FLOOR

Type:

Concrete poured directly over the soil with NO provision for drainage or steel reinforcement. Consistent with the age of the of the home. Crushed stone.



Condition:

FAIR. The crushed stone can allow for radon gas and moisture entry into the home. It is advised to have a qualified mason contractor install a concrete slab in this area.

FLOOR DRAIN

Type:

Sump pit but NO visible under floor drainage.

Condition:

FAIR. The sump pit and pump will NOT be effective in redirecting any water penetration through the foundation walls. See comments below.

Inspection: 112523JM2 Address: 1054 W Chestnut St

SUMP PUMP

Condition:

POOR. The pump is being held up with multiple pieces of rope. Power to the pump is being supplied by means of extension cord wiring. The pump and discharge piping has been installed in an unprofessional manner. Have a licensed plumber install a submersible pump and rigid discharge pipe to ensure proper operation when needed. A licensed electrician should install a dedicated circuit and receptacle to safely power the sump pump.



Pump is tied in place.

BASEMENT DAMPNESS

Water penetration:

Active moisture was noted on the crushed stone floor along the rear of the basement. A musty odor was noted when entering the basement. There is the potential for elevated mold spores to exist in the basement. The inspector does NOT perform mold testing. As mold growth can present a health safety concern, it is advised to consult a qualified environmental contractor for further evaluation PRIOR to closing. Any identified mold growth should be professionally remediated as needed. However, if the water penetration is NOT addressed recurring fungal growth will likely occur. See the Grounds and Roofing sections of the report for grading and drainage deficiencies. All roof and ground surface runoff should be directed away from the exterior walls of the home - to reduce the potential for recurring water penetration.

CRAWL SPACE

Accessibility:

The crawlspace, under the right side of the home (under the kitchen area) was NOT accessible for inspection. The old wood framed window, that once provided access to this area, is stuck in the closed position and is in contact with the soil. This old crawlspace contains a dirt floor. There is the strong potential for rot and wood destroying insect damage to exist in this area. The crawlspace should be made accessible to allow inspection PRIOR to closing. The crawlspace, under the left side addition, was entered for evaluation.

Floor:

Concrete (crawlspace under the left addition). Exposed soil (crawlspace under the original home). A plastic vapor barrier should be installed over the exposed dirt floor to reduce moisture accumulation and radon gas entry into the home.

Clearance below joists:

Ample (in the crawlspace under the left side addition). Inadequate (original crawlspace). See comments above.

Condition:

FAIR. Debris and dirt accumulation should be removed from the crawlspace under the left side addition. See comments above in regard to the inaccessible original crawlspace.

Inspection: 112523JM2 Address: 1054 W Chestnut St

ELECTRICAL

Electrical repairs attempted by the homeowner should be approached with caution. The power to the entire house should be turned off prior to making any repair efforts, no matter how trivial the repair may seem. It is highly recommended that a licensed electrician be hired for electrical work as a precaution against electrical shock and other safety hazards. It is recommended that GROUND FAULT and ARC FAULT RECEPTACLES AND/OR CIRCUIT BREAKERS be installed as required by current electrical standards and that they be checked monthly as per the manufacturer's recommendations. Older ground fault receptacles should be replaced to improve safety. The electrical system is NOT inspected for code compliance. A home inspection is NOT a municipal building code inspection. It should be determined if permits and all necessary permit approvals were obtained for modifications and/or additions to the electrical system PRIOR to closing.

Inoperative light fixtures often lack bulbs or have dead bulbs installed. Light bulbs are NOT changed during the inspection. It is recommended that the owner replace defective bulbs prior to closing and all light fixtures be checked during the final walk through. Testing of **smoke & carbon monoxide detectors** is BEYOND THE SCOPE of a home inspection. The detectors should be tested by the municipal fire inspector as part of certificate of occupancy requirements PRIOR to closing. The detectors should continue to be tested regularly after the closing.

In older houses or when additional electrical fixtures are connected to an existing circuit, often times the circuit becomes overloaded and a fuse blows or a breaker trips. As occupancy varies, overload conditions can vary as well. Unfortunately the home inspection can not determine when or where overload conditions may occur. The addition of new circuits may be required. This should only be done by a licensed electrician and may require electric panel replacement if there is no room in the panel for expansion.

ELECTRIC SERVICE & GROUNDING

<i>Service line entrance:</i>	Overhead service entry.
<i>Material of service lines:</i>	Aluminum.
<i>Service amperage and voltage:</i>	200 amps. - 120 / 240 volts.
<i>Mechanical bond or grounding:</i>	Water pipe and driven rod.
<i>Condition:</i>	SATISFACTORY.

CIRCUITS/ELECTRICAL PANEL

<i>Condition and overload protection:</i>	SATISFACTORY. Circuit Breakers.
<i>Quantity of circuits:</i>	SATISFACTORY. Appears ample for normal household use. There is room for additional circuits within the panel.

ELECTRICAL SUBPANEL

<i>Condition and overload protection:</i>	POOR. Circuit breaker sub-panel located adjacent to the main service panel. The 20 amp 220 volt circuit breaker is undersized for the electric water heater. Have a licensed electrician install a proper 30 amp 220 volt circuit breaker and properly sized wiring to provide adequate power to promote proper operation of the water heater. Note: A manual breaker interlock is installed on this sub-panel. However, use of a portable generator is NO longer required as a standby natural gas generator has since been installed.
---	---

Inspection: 112523JM2 Address: 1054 W Chestnut St



Undersized circuit for water heater.

Quantity of circuits:

CONDUCTORS/WIRING

Branch wiring:

Copper in all wiring. No aluminum wiring noted. A mixture of older and newer wiring. Recommend identifying location and use of older wiring & using or installing dedicated lines for specific items. Plans should be made for upgrading on an as needed basis.



Knob and tube wiring runs along beam.

Condition:

POOR. Two strands of old ungrounded "knob and tube" wiring was observed along the center of the basement. These wires did NOT test live with a voltage proximity tester. However, the inspector can NOT determine if any old "knob and tube" wiring may exist within the wall and ceiling cavities. Any such wiring, that may be located during renovations, should be removed and replaced by a licensed electrician where needed. This home contains a combination of old and some newer wiring. Recommend identifying where older wiring is used and installing new wiring or dedicated circuits for air conditioners, electronic equipment, computers, etc. Recommend discussing with an electrician the possibility of using Ground Fault Circuit breakers and or Arc-Fault Circuit Interrupters to reduce potential shock hazards or electrical fires.

RECEPTACLES, FIXTURES, & RELATED WIRING (GENERAL)

Condition and type:

POOR. The ceiling fixture, above the main staircase landing, can NOT be controlled from the first story. Have a licensed electrician install three way switches to allow operation of this light fixture to be controlled from the first and second stories of the home. Random testing (approximately one receptacle per room) throughout the dwelling.

Inspection: 112523JM2 Address: 1054 W Chestnut St

STANDBY GENERATOR SYSTEM

Condition and type:

This home contains a natural gas powered whole house standby generator. The generator, electronic transfer switch and other related equipment are NOT evaluated as part of a home inspection. It should be determined if the system was installed with all necessary permits and permit approvals PRIOR to closing. Have the system evaluated by a licensed electrician, as desired, PRIOR to closing.

OTHER

Condition & type:

Communication, entertainment and other low voltage wiring is NOT evaluated as part of a home inspection. Review operation of all such wiring with the owner PRIOR to closing.

Inspection: 112523JM2 Address: 1054 W Chestnut St

PLUMBING

The statements in this report are based on the observations at the time of the inspection. There is always a possibility of drain blockages and leaks that did not exist or were not evident at the time of the inspection.

From time to time, one has to replace such items as toilet flappers, faucet washers and/or cartridges, as these items wear out every few years. Shower and tub areas must be recaulked periodically to prevent major leakage and water penetration problems from occurring. **Special care should be taken during the pre-closing walk through to check for leaks, slow drainage and/or other plumbing problems.**

Shut off valves are NOT operated during the inspection due to the potential for creating leaks. It is recommended that all valves be cleaned and properly maintained to function properly. It is highly recommended that the main shut off valve always be shut off when repairing such items as toilets, faucets, outside hose spigots, etc.. The small shutoff valves for these fixtures often leak and can break easily. It is advised to replace older gate valves with ball valves to reduce the potential for leaks when these old valves are operated.

WATER SERVICE

Origin:

Well. Type and depth of the well are unknown. Obtain information from owner on system and maintenance. SPECIFIC WATER TESTING IS REQUIRED BY THE STATE OF NEW JERSEY prior to the sale of a home. Have a qualified water testing laboratory test the water PRIOR to closing.

Material of main:

Galvanized steel.

Condition:

Water operated for approximately 60 minutes during the inspection. Quantity of water appeared adequate during the inspection. NO evaluation as to quantity of water NOR condition of pump is made by this company. Have the well pump, tank and related equipment evaluated by a qualified well contractor PRIOR to closing. The inspector was unable to locate the well head. As such, the well head may be located below grade. This increases the risk for contamination of the water supply due to runoff of any possible surface contaminants. It is advised to have a well contractor install a well casing that extends above the grade of the soil. Note: The original dug well is likely located under the slab under the decorative manual well enclosure. Take precaution if digging around this area.

INTERIOR PIPES

Material:

Copper and galvanized steel. CPVC. Non-metallic (PEX type piping). PEX type piping is newer to the plumbing industry in the United States. Longevity can NOT be predicted. The banded connections should be monitored for corrosion and evidence of moisture and replaced by a licensed plumber as needed.

Condition:

POOR. Old galvanized steel supply piping runs in various areas of this home. Galvanized steel piping will corrode from the inside restricting the flow of water. Have a licensed plumber replace all remaining galvanized steel piping - before leaks can develop and water flow is reduced.

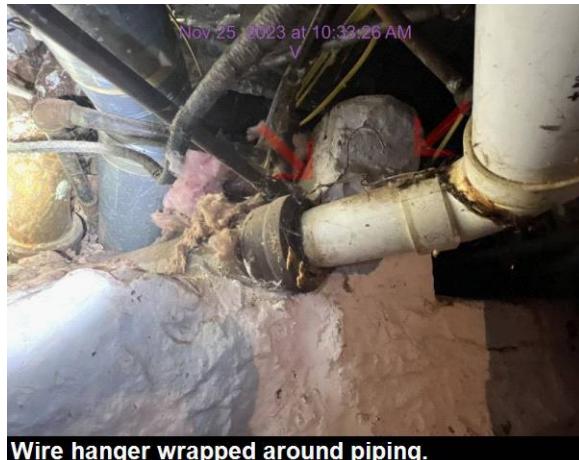
Water flow quantity:

FAIR. Tested by using three fixtures at one time at the highest location within the unit. Flow was fair and likely will be limited with more than two fixtures on at a time. See comments above.

WASTE LINES

Piping material as noted where Cast iron, copper and galvanized steel. Plastic (PVC and/or ABS) in a few areas. visible. Underground and/or undersab lines are NOT visible for inspection..

Inspection: 112523JM2 Address: 1054 W Chestnut St



Wire hanger wrapped around piping.

Condition:

POOR. Corrosion was noted on the cast iron sewer lines (where visible). A wire hanger is secured over the connection of the PVC waster line to the older cast iron waste line (visible at the front right area of the basement). There is the potential for leaks to develop at this connection. Have a licensed plumber make all necessary repairs to prevent leaks from occurring in this area. The majority of the old cast iron waste lines is NOT visible for inspection (as they run in the inaccessible crawlspace). Due to the age of the piping, it is advised to have a licensed plumber conduct a camera scan of the underground and inaccessible piping to determine condition PRIOR to closing. Any damaged sections of piping should be replaced by a licensed plumber as needed. Underground and inaccessible piping are NOT visible for inspection. Potential for blockage/repair exists.

WASTE DISPOSAL

Distribution:

Undetermined. The inspector can NOT determine if this old home is connected to the public municipal sewer system. Consult the owner and municipal sewer department to determine if this home is connected to the municipal sanitary sewer system PRIOR to closing. If still connected to a septic system, have the private waste disposal system evaluated by a qualified septic inspector PRIOR to closing. Note: This home inspection company assumes NO responsibility for septic failure NOR does it attempt to evaluate septic systems.

WATER HEATER (1)

Fuel:

Electric. Note: Heating coils are typically replaceable.

Temperature and Pressure Relief: SATISFACTORY.

Valve and Extension:

Capacity:

50 gallon tank.

Approximate age:

5 years.

Condition:

POOR. The unit is served by an undersized circuit. See the Electrical section of the report for additional information. Note: Do not set temperature too high. Keep low for safety & energy conservation. Normal life span of a water heater is 10 years.

CLOTHES DRYER (Check again at closing)

Heat source:

Natural gas. Recommend replacing the flex gas line if not done so during the past 5 years or when the dryer is replaced. Grey or brass lines should be replaced with a stainless steel line.

Venting method: Note: External via duct work. Recommend cleaning vent and internal parts of dryer yearly.

Recommend replacing any "plastic" venting with metal to reduce the potential for overheating that can result in a lint fire.

Inspection: 112523JM2 Address: 1054 W Chestnut St

overheating and lint fires.

Condition: The dryer was NOT tested as part of this home inspection. Operation of the dryer should be tested PRIOR to closing.

CLOTHES WASHER (Check again at closing) Also monitor washer hoses for deterioration. Stainless braided hoses are recommended.

Condition: The washer was NOT tested as part of this home inspection. Operation of the washer should be tested PRIOR to closing.

OTHER

Condition & type: A natural gas odor was noted in the vicinity of the gas meter. A small gas leak was observed at the gas meter and related piping - as indicated with a combustible gas detector. Consult the gas utility for further evaluation and repair PRIOR to closing.

Inspection: 112523JM2 Address: 1054 W Chestnut St

HEATING AND COOLING

Equipment access panels not intended for routine homeowner maintenance are NOT removed during a home inspection.

The best preventative maintenance for heating and cooling systems is regular yearly cleaning and service by a professional HVAC company or licensed plumbing and heating contractor. Service agreements can be put into place to warrant the equipment for a year at a time. If this type of contract has not been established by the present owner, it is advised to obtain such a contract after closing. It is important to determine exactly what is covered under the service contract PRIOR to purchase (coverage can vary widely between the various plans).

The capacity of the HVAC system to heat and/or cool the home and the cost of operation are NOT evaluated as part of the inspection process due to the engineering requirements necessary to complete such an analysis. It is recommended that heating/cooling adequacy be discussed with the homeowner and/or heating/cooling specialist and/or licensed plumbing and heating contractor if so desired PRIOR to closing.

Heat exchangers are very difficult to evaluate since most areas are NOT visible for inspection. The inspector will attempt to determine the condition of the visible areas of the heat exchanger but can NOT warrant its complete condition as the MAJORITY OF THE HEAT EXCHANGER IS NOT VISIBLE FOR INSPECTION. IT IS ADVISED TO HAVE A QUALIFIED HVAC CONTRACTOR FURTHER EVALUATE OLDER FURNACES PRIOR TO THE CLOSING.

In certain instances, such as a conversion in heating fuel type or replacement of a heating appliance, a "Level 2" chimney inspection is advised. Such an inspection consists of running a camera scope through the entire length of the chimney to evaluate the interior condition of the flue for possible damage which is not visible to the inspector and to determine if the flue is sized properly for the heating system installed. Such an inspection is advised for all masonry chimneys PRIOR to closing.

This company can NOT determine the presence of underground fuel storage tanks. The inspector will attempt to identify evidence of an underground tank, but in many cases visible evidence is concealed or unavailable. An underground tank search, performed by a professional tank search company, serves as the best method to locate the presence of underground storage tanks. An underground fuel storage tank search, performed by a qualified environmental contractor, should be completed PRIOR TO CLOSING.

HEATING SYSTEM (1)

Energy source & location:	Natural gas. Basement.
Equipment type:	Forced warm air furnace. Lifespan of mid efficiency forced warm air furnaces is approximately 15-20 years (if the system is properly and regularly maintained). Lifespan of high efficiency forced warm air furnaces is approximately 12-15 years (if the system is properly and regularly maintained).
Approximate age:	20 years.
Condition:	POOR. Although the furnace responded to the thermostat, the gas flame pattern was abnormal (orange tipping and some wavering to the burner flames). This can be indicative of incomplete combustion which can result in carbon monoxide accumulation. Have a licensed HVAC contractor further evaluate the furnace and make any necessary repairs to promote safe operation. The furnace is approximately 20 years old and near the end of its useful life. Recommend maintaining a service contract, on the heating system, with a qualified HVAC contractor. Replacement should be planned in the near future.

FUEL SUPPLY

Delivery System/Fuel:	Gas company. An old steel oil tank is located near the front foundation wall within the basement. Although this tank is no longer in use, dark discoloration on the soil under the tank, may be the result of prior oil leaks (significant corrosion noted on the bottom of the tank). Have this soil, under and around the tank, tested by a qualified environmental
-----------------------	---

Inspection: 112523JM2 Address: 1054 W Chestnut St

contractor PRIOR to closing. Any necessary remediation should be completed by a qualified environmental contractor as needed. This tank as well as the vent and fill pipes (which still extend to the exterior of the home) should be removed PRIOR to closing. The inspector makes NO deliberate attempt to locate potential underground fuel storage tanks that may have been in use prior to the tank located in the basement.. Due to the environmental concerns associated with underground fuel storage tanks, HIGHLY recommend having a qualified environmental contractor conduct an underground tank search PRIOR to closing. Any tank(s), that may be located, should be professionally removed with all necessary permits and permit approvals PRIOR to closing.



Darkly stained soil under oil tank.

NORMAL CONTROLS FOR HEATING

Condition & Type:

SATISFACTORY. Electronic thermostat. Obtain operating instructions from the owner.



Corrosion on old oil tank.

COMBUSTION AIR AND VENTING

Condition & Type:

FAIR. Metal flue pipe with flexible corrugated flue liner. There is NO visibility of the interior components of the chimney. It is highly recommended that chimneys used for gas appliances have a metal liner installed by a qualified chimney contractor to reduce the potential for moisture damage and deterioration to the interior of the chimney flue. The potential exists that there could be damage inside the chimney that is not visible to the inspector. Although a corrugated flue liner has been installed, corrosion was noted on the flue connector (above the furnace). This may be the result of condensation formation within the liner and chimney. Have a qualified chimney contractor further evaluate the liner and chimney and make any necessary repairs to ensure safe operation of the furnace.

Inspection: 112523JM2 Address: 1054 W Chestnut St



DISTRIBUTION FOR HEATING

Condition and type:

FAIR. Sheet metal ducting with filter. Recommend the filter be replaced monthly during the active heating/cooling seasons. Recommend installing pleated filters and making sure that the filter fits in tight. Although operational, some of the ducts are quite narrow in diameter. Airflow to the second story may be limited in some rooms.



COOLING SYSTEM (1)

Equipment type:

Window units. It is advised to have a licensed electrician install dedicated receptacles and circuits for all window air conditioning units.

Condition:

Portable air conditioning units are NOT tested during a home inspection.